

The **MARINA DA GAMA** *Association*

INTRODUCTION:

The original Design Manual, which was well researched and founded on sound principles, was adopted by the Association in the mid 70's.

As such, it was a document to be used, as reference, to assess building plan submissions for comment, before being submitted to the Local Authority for Building Plan approval.

At the time it was drafted it was anticipated that the bulk of plans submitted would be for new homes as the Marina was substantially undeveloped except for the original houses built by the Developers. The bulk of these were designed by a group of architects who had a large hand in the drafting of the Design Manual.

We have now moved to a situation where there are only a handful of undeveloped erven in the Marina and most of these are not even obvious to casual observers as they form, in some cases double plots, and in others, are contiguous with parks and not demarcated.

The principles entrenched in the Design Manual and subsequent addenda need to be maintained but, in some ways, must be reamplified to be contextual to the current building plan submissions.

The following document is a synthesis of all that has gone before and there are very few new regulations. It is rather a case of putting everything into one document.

Since last being amended, the City of Cape Town have introduced the Development Management Scheme (DMS) which replaces the previous Zoning Scheme. Wherever possible this document aligns with DMS as it stands at the time of drafting this document, but Owners and Designers are cautioned that the DMS is a fluid and evolving document which is updated annually and whatever alterations are proposed should be prepared in accordance with the latest issue of that document.

Regarding the paragraph above, in all instances where the requirements of DMS are more onerous than this Design Guide then the City's regulations shall be applicable.

PROPERTY STANDARDS

For many years the Executive Committee has relied upon the *Design Manual* to maintain property Standards within the Marina da Gama.

However, it has become evident from owners that while many properties comply with the *Design Manual*, their general appearance leaves much to be desired. For this reason, your committee has, at its meeting on the 14th July 1997, now defined the meaning of the words “appropriate standards” which appear in clause 7.5.1. under the general clause 7 setting out the powers of the executive committee within the Constitution.

Definition of appropriate standards

In Terms of clause 7.5.1. of the Constitution.

In keeping with the natural beauty of the Marina, properties must be neat in appearance:

- Verges, gardens, driveways and yards should be neat and clean with grass mown or trimmed. Overgrown gardens are not permitted.
- Perimeter walls, main building and outbuilding walls must be clean in appearance and free of unsightly markings, peeling paint and algae growth. Preferably walls should be freshly painted.
- Timber doors and windows should be clean and free of unsightly “peeling” paint or blistering.
- Timber fencing should be regularly maintained.

ANNEXURE 'A'

DESIGN MANUAL

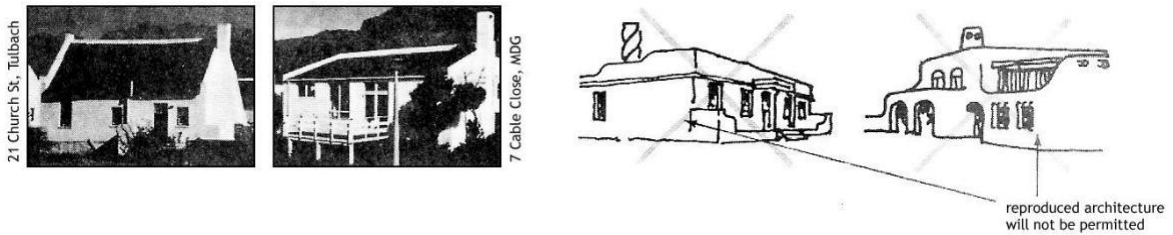
Updated as to incorporate amendments adopted before and including 21st June 2022

The developers of the Marina da Gama adopted an architectural and environmental theme to establish a character for the township. This theme, which was based upon thorough research by architects, landscape designers, ecologists and engineers, was physically demonstrated in a village of 40 houses at Eastlake. In order to preserve and enhance the concept, the Association created an Architectural Committee to maintain control of all structures, siteworks and landscaped elements. All property owners are required to submit architectural drawings to this committee for approval prior to commencing any building work. This manual consists of general guidelines and mandatory restrictions which are essential to the maintenance of the environmental character. It encourages variations within the theme and only prohibits excesses in design.

BASIC CONCEPT

Concept statement

The basic concept of the architecture of Marina da Gama and Eastlake is to capture the character of the early Cape and yet to ensure that the design belongs distinctively to today.



Design Elements, Form

The Traditional architecture of the Cape is a functional vernacular based on the basis of then naturally available materials.

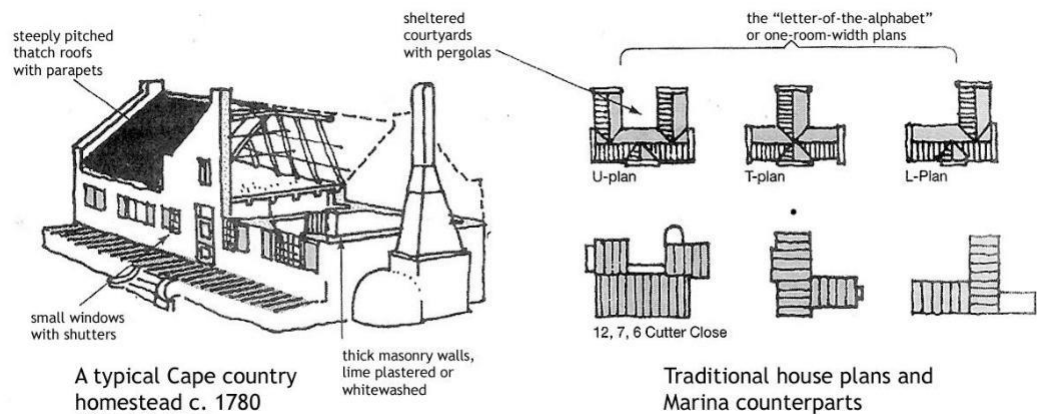
Walls are thick masonry and coated with lime plaster and whitewash.

Roofs are of reed thatch and steeply pitched, or of lime concrete on a timber structure and flat with *parapets*.

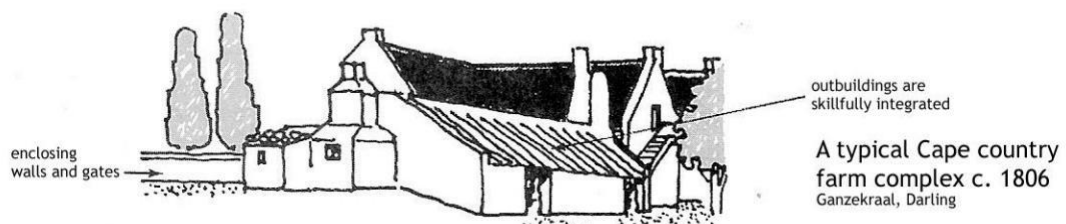
Window openings are relatively small, preventing excessive glare and heat gain in summer and heat loss in winter, and are often protected by shutters.

Exposed timber is kept to a minimum and usually painted for protection in the hot-dry/cold-wet climate of the Western Cape.

The traditional *house plan* is built up in wings forming sheltered *courtyards*, often with vine-covered pergolas.

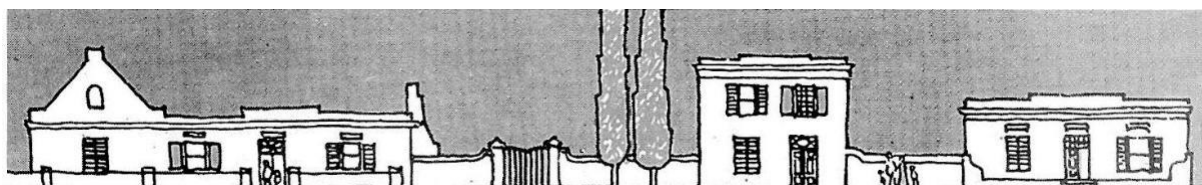


Where out-buildings exist, they are carefully placed in relation to the main house. Low garden walls with gateways provide a sense of enclosure.



Style and character

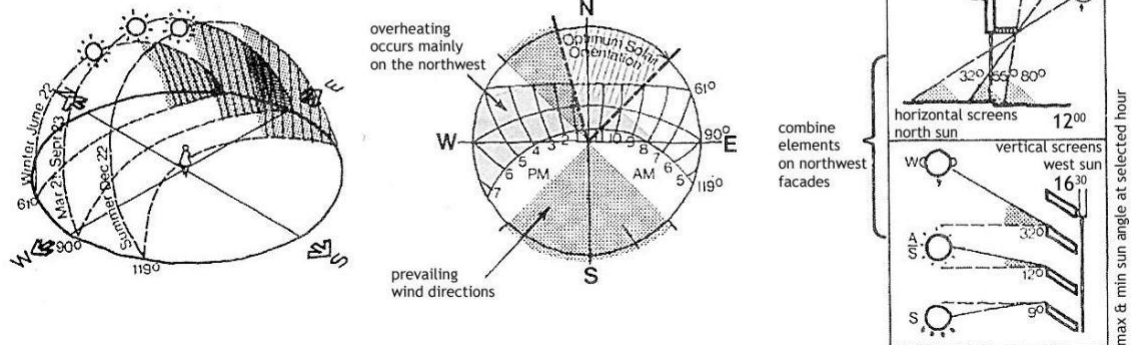
On this functional basis, a deeply human domestic style is developed, and expression of quiet repose, simplicity and dignity. This vernacular architecture has been widely admired. The developers intended to promote this architectural character at Marina da Gama, and the Design Manual was compiled with this purpose.



ENVIRONMENTAL DESIGN DETERMINANTS

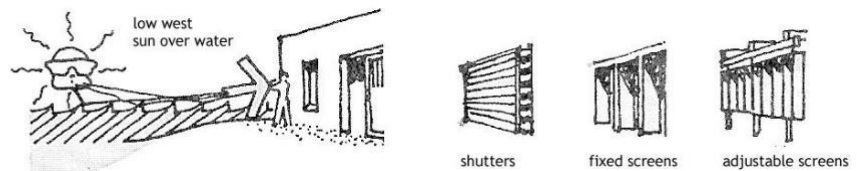
Sun

Sunshine occurs at Marina da Gama for approximately two-thirds of daylight hours each year, more than Muizenberg itself and more than most areas in the Cape Peninsula. The optimum *orientation* for most houses is to the north, with a garden to the north-west or north-east, depending on personal preference.

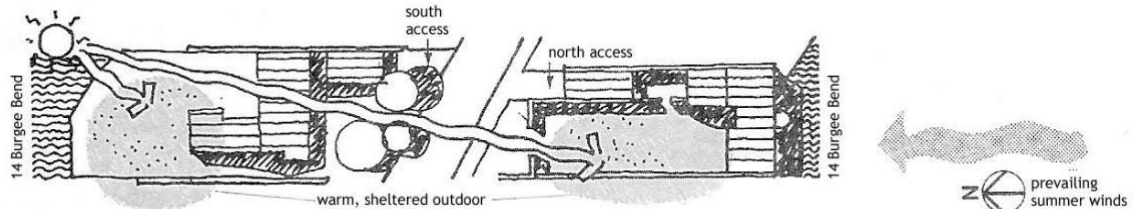


Owners should be cautious of reflected *glare* off the water, particularly from the west, and should take suitable precautions.

Glare and design considerations

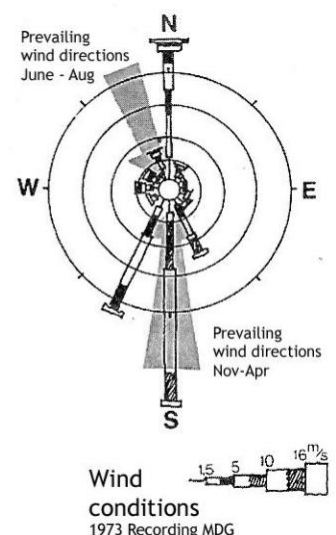
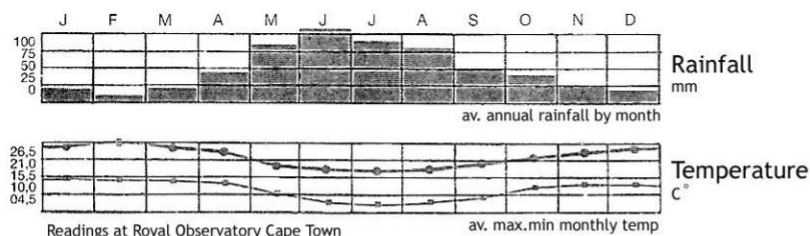


Where properties have a road access from the north, it is recommended that the house be constructed close to the water's edge to provide a sheltered north-facing garden, while houses on properties having road access from the south should be built close to the road to provide a sheltered north-facing garden on the water's edge.



Rain

Typical of the Cape climate, most of the rain falls between June and September, whilst the summer months are generally dry. The average rainfall is approximately 450mm (18"). This compares with 1 397mm (55") in Newlands, Marina da Gama is one of the drier areas in the Peninsula.



Wind

The most important climatic factor at Marina da Gama is the wind. The prevailing winds are from the south during the summer months and from the north-west during the winter months.

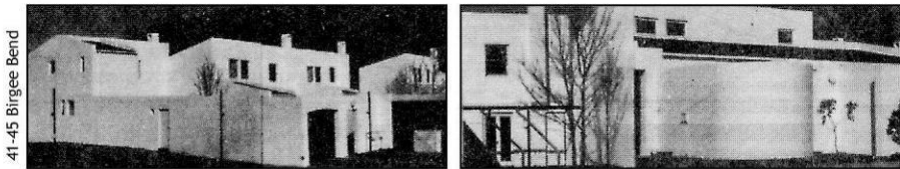
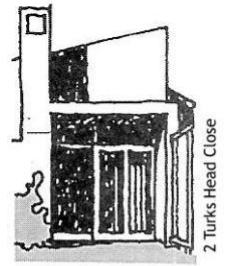
The landscaping reduces wind velocity at ground levels by means of dunes, trees and screens to provide a protected living environment: the architecture, in particular the *design of roofs*, should further assist in the creation of sheltered outdoor areas. Wind and sun requirements are complementary in that buildings should form a barrier on the southern boundary as illustrated in the optimum sun orientation layouts above. The corrosive effect of moist, salt-laden winds is an

important consideration when selecting building materials and garden plants.

BUILDING DESIGN REGULATIONS

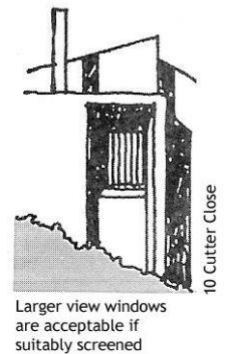
Exterior Walls

Walls are virtually the most important part of Cape vernacular architecture. The roof is secondary. Parapets enclose the roof and sometimes obscure it. The wall surfaces are dominant with small window and door openings. In certain cases, large windows and glass doors may be desirable to enhance the views: adequate precautions should be taken against sun and glare by using pergolas and shutters. Walls are traditionally masonry and painted white. Walls which reflect the strong glare should be shaded by pergolas or planting or some other method of screening.



"wall surfaces are dominant.....with small window and door openings"

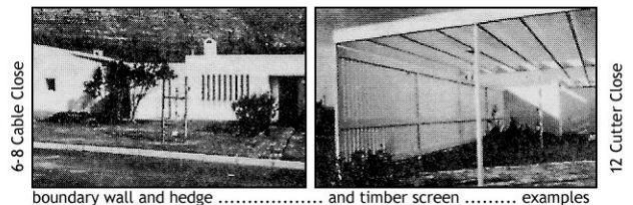
Masonry walls must be plastered and painted white. The use of unpainted masonry; concrete and face brick is prohibited. Integral rough textured surfaces are acceptable, but artificial attempts at creating rough surfaces are prohibited.



Boundary and courtyard walls, fences and screens

Boundary walls must be white and related to the main buildings or adjoining properties. Natural or painted timber screens with simple horizontal or vertical designs may be used, The planting or hedges is encouraged.

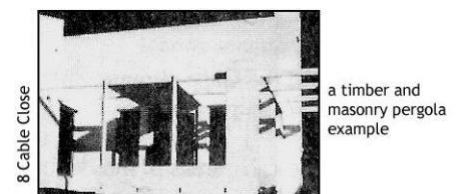
Corrugated iron, barbed wire and prefabricated walling are prohibited subject to the proviso that the Committee in its sole discretion and subject to the terms and specification imposed by it, is authorised to permit the use of white painted or pebble finish pre-cast walls for boundary walls within erf 93663 Cape Town at Muizenberg known as San Marina.



Columns and pergolas

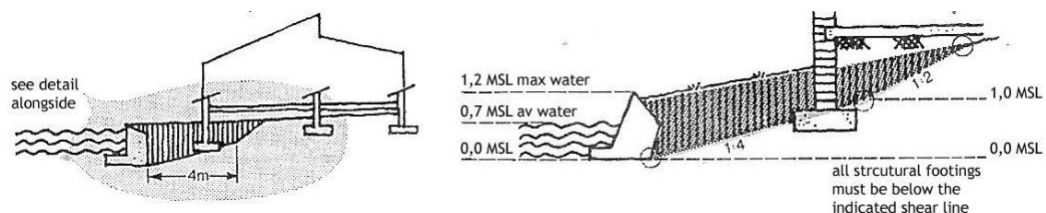
Pergolas should be constructed to protect terraces, large windows or French doors from the sun or reflected glare. Climbing plants are encouraged.

Pergolas must be constructed of timber - either natural or Painted. Supporting columns must be constructed of either, Timber - either natural or painted Masonry - either plastered and painted to match the walls, or Metal - preferably treated against corrosion and painted.



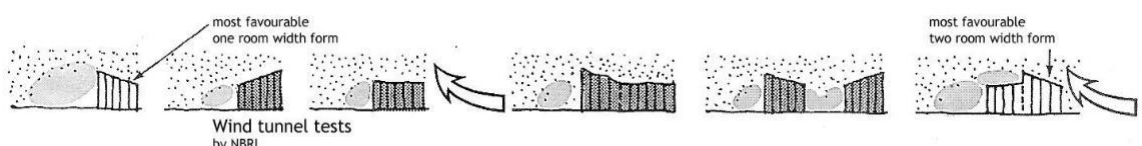
Bases and foundations

The sketch provides a guide to the technical aspects of base and foundation construction.

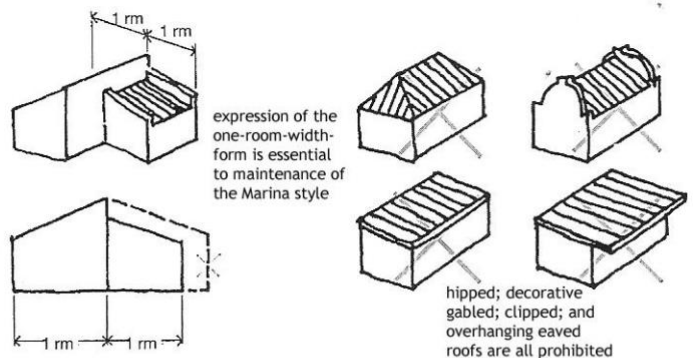


Pitched Roof

Wind tunnel test indicate that mono (one-way)-pitched roofs are most successful in deflecting the wind. An optimal angle of 15° is recommended.



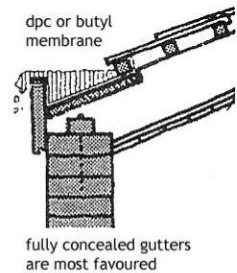
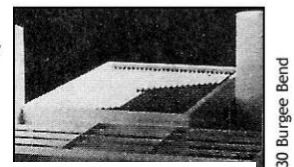
Pitched roofs must be enclosed by parapets on two or more sides and always on gabled ends. Curved and decorated gables and hipped roofs are prohibited. Overhanging eaves are also prohibited. The roof pitch must be between 10 and 25 degrees. The roof must be black, blue-black, or dark grey in colour. Only slate, cement tiles and fibre cement slate are permitted.



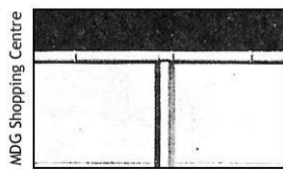
Flat roofs

Flat roofs are defined as having a slope of less than 5°. Sheet metal or patented waterproofing materials covered with stone chip, concrete slabs or similar materials are recommended. Profiled sheet metal roofs and / or translucent sheeting must be hidden behind fascia boards of sufficient width.

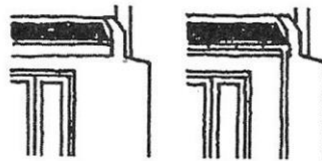
Flat roofs must be completely enclosed by a parapet. The roof must be white.



Gutters



recessed; fully concealed; and exposed gutters and downpipes (right)

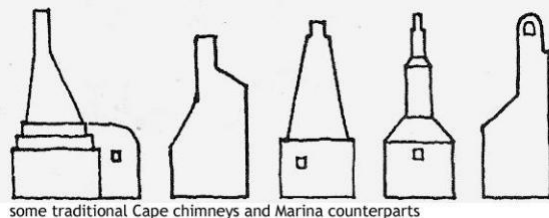


Gutters and downpipes, where exposed, must be white. Recessed gutters are encouraged.

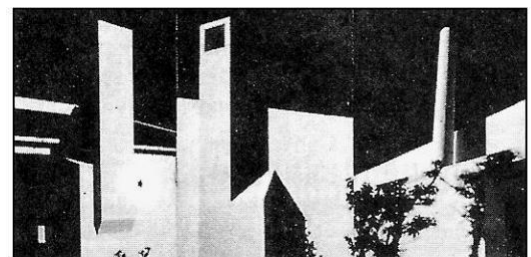
Chimneys

Exposed chimneys are an important element in traditional Cape Architecture. It is strongly recommended that chimneys are white and contemporary in design and be exposed as strong elements on exterior walls of buildings. However, in keeping with modern energy efficiency practices, other forms of chimney are permitted, preferably to be incorporated within the structure as far as possible - the chimney may not be free-standing. Exposure should be minimised, and the chimney should protrude from the roof. Outside the building the chimney should be vertical.

Plaster chimneys must be white, steel chimneys must be painted black or marine grade stainless steel.



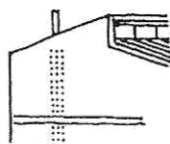
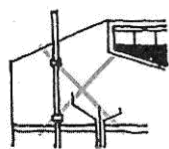
some traditional Cape chimneys and Marina counterparts



Parapets

Parapets are simply extensions of the walls: a height of 250mm above roofline is recommended.

Pipes and projections



soil vent pipes should be built into walls, other pipes into ducts

Plumbing pipes must be fully concealed

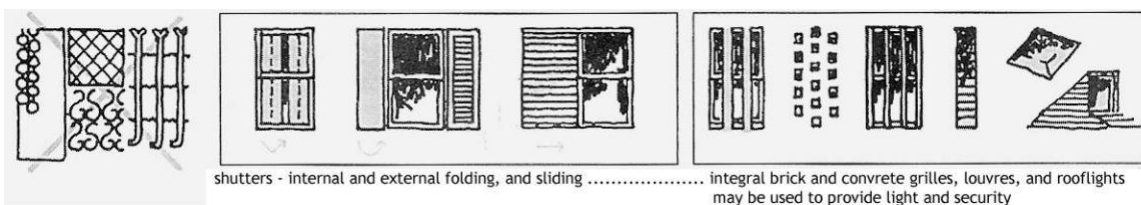
Television aerials

Antennae for the reception of terrestrial and satellite television shall be white or near-white and not more than 0,95m in diameter and must be positioned as unobtrusively as possible while allowing adequate reception. Where practicable, antennae for the reception of terrestrial television shall be placed under roofs.

Where advice is needed on the installation of new antennae, or when the positioning of existing antennae is challenged on grounds of unnecessary obtrusiveness, the recommendation shall be sought of a television antenna installation company approved by ExCom. Such recommendation is to be given free of charge or obligation and shall be binding on the owner and the Association.

Windows, doors

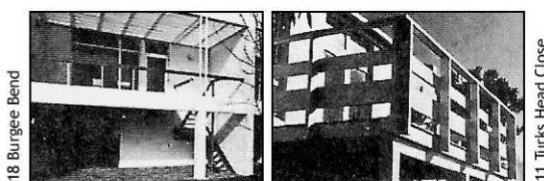
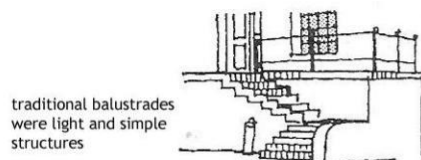
Timber is recommended for windows and doors - either natural or painted. Colour can be used to personalise the house. Anodised aluminium or powder coated may be used as an alternative material, but steel is not recommended because of corrosion. Louvred or solid window and door shutters and brick grilles are recommended rather than burglar bars.



Burglar bars are not permitted except as generally illustrated.

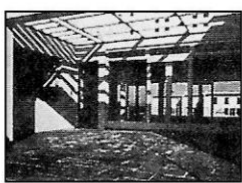
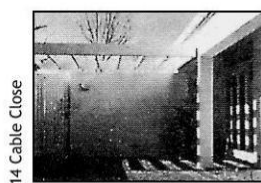
Balconies

Balconies should be designed in a simple manner and should take cognisance of shelter to view.

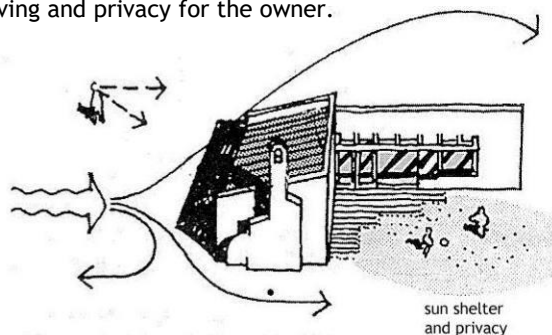


Terraces, decks, patios and walkways

North-oriented terraces, patios and decks should use buildings or screen walls as shelter from southerly winds. They should provide both outdoor living and privacy for the owner.



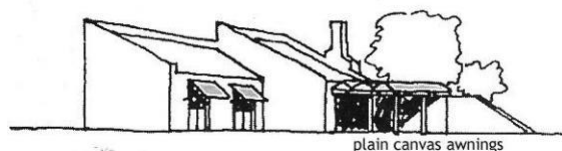
sheltered terraces with brick ... and timber (railway sleeper) pavings



Recommended flooring materials for terraces are quarry tiles or bricks; timber should be used extensively for decks. Owners should exercise discretion in the use of concrete or concrete paving slabs.

Canvas awnings for the sun protection on pergolas and windows can be used to provide colour to the house.

Aluminium folding blinds are prohibited. All awnings must be in plain colours or combinations of not more than two colours.



LANDSCAPING

General

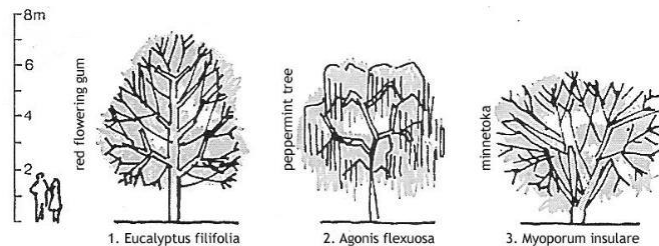
Homeowners are required to provide their own plant materials. It is recommended that hardy and salt-resistant plants are used initially. Owners are required to maintain the road verges outside their properties.

The soil is sandy with little organic matter while the ground and air have a high salt content and pH factor (alkali). There is also a high-water table.

Plant material & selected trees

It is recommended that trees, shrubs and other plants which will enhance the Cape theme be used. No alien vegetation to be planted; the use of local or indigenous plants are preferable; please get advice from your nursery/gardening club.

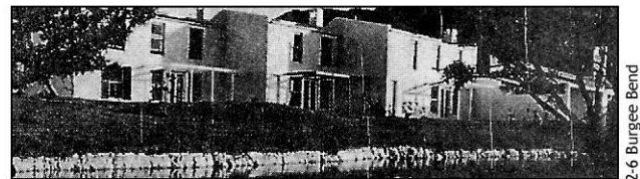
No planting or cutting is allowed in the public open spaces without formal approval by ExCom.



WATER EDGE PROTECTION

Bank edges

The bank edge is provided by the developer and may not be modified without submission of plans showing proposed alterations to the committee for approval.



2-6 Burgee Bend

Jetties, berths, docks

jetties should be simple and robust



6 Cable Close

The designs of jetties, berths and docks are subject to approval by the Committee prior to construction, and any alterations to jetties, berth and docks must also be approved by the Committee.

GENERAL

Design Regulations

All design plans for the construction of houses and alterations to houses must be prepared by registered architects except in special cases, to be approved in writing by the Committee

Should any provision in this Design Manual be regarded as contrary to the local municipality's regulations, then the municipal regulations shall prevail.

Signs

All signs other than for house names and numbers must be submitted to the Committee for approval.

House names and numbers

Both numbers and names of houses must be clearly visible especially at night. They should be bold and simple.



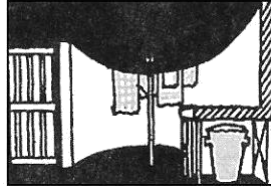
house number alternatives - Helvetica style lettering is preferred

4 Cable Close

Post Boxes

Each residence shall have a secure and accessible post box which must be affixed to the outer boundary wall or fence or where there is no wall or fence, on that part of the residence closest to the road.

Dust bins, washing lines, yard storage

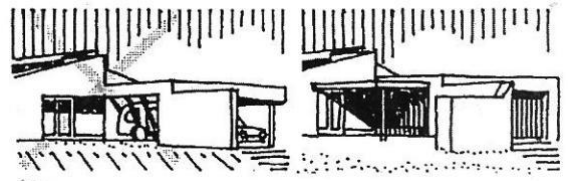


Dust bins, washing lines, and storage areas must not be visible from road, water or other erven.

Yard walls can add visual interest to streetscapes.

Parking of caravans

Caravans may not be kept on the public roads or on properties if visible from roads or waterways.



Commercial buildings

Plans for Commercial and General Residential building must be submitted to the Committee, and special provisions within the general conditions laid down by this Manual will be imposed by the Committee. The design of these buildings must complement the character of the surrounding development.

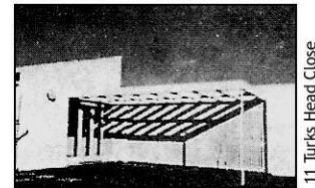
Procedure

Sketch drawings should be submitted by the architect to the Committee at the registered office of the Marina da Gama Association.

The Committee will consider the drawings and notify the architect of its approval or any suggested amendments as soon as possible after submission of the plans. Should the Committee suggest any amendments, to the drawings, then the architect must submit amended drawings to the Committee, who shall confirm within a week of submission whether the amendments are accepted.

When working drawings are submitted to the Municipality a copy of the working drawings must be submitted to the Committee for checking.

The Committee may approve waivers of any mandatory specifications under special conditions where waivers are considered justifiable by the Committee.



11 Turks Head Close

SUBMISSION OF PLANS

Plans submitted for consideration by ARCHCOM must contain the minimum statutory and regulatory requirements in terms of this Design Manual and the Municipal Bylaws, as amended, for further scrutiny and submission of building plans for approval by council (City of Cape Town).

ANNEXURE 'B'

MARINA DA GAMA DESIGN REGULATIONS

These requirements are additional to those required by the local municipality building regulations. In the event of conflict between the Design Manual and the Design Regulations, these regulations will apply.

General

The Architectural and Environmental Committee reserve the right to require such changes in designs as may be needed in their opinion, to preserve the style of Architecture.

SECONDARY CONSTRUCTION ELEMENTS AND ANCILLARY STRUCTURES:

Exterior:	Walls to be plastered or bagged and painted white on both sides and be straight topped; Alternatively walls to be plastered and painted white on both sides and be straight topped.
Aerials:	<p>Dishes for the reception of Television or data shall be white or near white and not more 0,95m in diameter. They must be positioned as unobtrusively as possible while allowing adequate reception.</p> <p>Where advice is needed on the installation of a new dish, or when the positioning of a dish is challenged on the ground of unnecessary obtrusiveness, the recommendations shall be sought of an installation company approved by ExCom. Such recommendation is to be given free of charge or obligation and shall be binding on the owner and the Association.</p> <p>Should a homeowner wish to install an aerial for a base station or Ham radio this must be cleared by ARCHCOM in advance of installation.</p>
Bank edge:	Bank Edges may not be modified without submission of detailed plans showing the proposed changes to ARCHCOM for approval.
Canopies & Awnings:	<p>Fabric, maximum 2 colour, awnings are permitted.</p> <p>Aluminium, adjustable awnings are permitted but the same requirements of parapet and eaves which apply to flat roofs are applicable.</p>
Carport covers:	<p>Proprietary brand car port covers are permitted. These must be installed by an approved installer and be finished in neutral colours only. Any conventional construction carports may only be supported on carport posts if completely hidden from roads and surrounding properties. If visible they must have masonry columns.</p> <p>The same requirements of parapet and eaves which apply to flat roofs are applicable.</p>
Driveways:	<p>The driveway shall be defined as the following:</p> <p>The surface area from the municipal kerb giving access to your garage or car port which will be the entire width of your garage door or doors, or the width of your carport.</p> <p>Completed driveway shall mean a driveway surfaced with any of the following materials: concrete, asphalt, brick paving or black or grey cobblestones.</p>
Drying Yard:	<p>Each property shall have a yard for purpose of drying laundry and storage of rubbish bins.</p> <p>Should this yard be visible to roads or adjoining properties it shall be constructed in masonry and plastered and painted to match house.</p>

Garages:	Each dwelling unit, except within Group housing Schemes, is to have at least one garage or carport with a carriageway crossing and completed driveway. A dwelling unit is defined as a unit containing one or more habitable rooms and provided with adequate sanitary and cooking facilities.
Garage doors may be:	<p>Traditional Wood with vertical, horizontal or diagonal slats in natural wood finish or painted in a single, approved colour.</p> <p>Simple patterned Fibre Glass or Aluminium in a single colour.</p> <p>Simple contemporary designs with square inset panels in single approved colour. Where there is any doubt that what is proposed is beyond what is described above, it is suggested that homeowners consult with ARCHCOM before installing doors.</p> <p>Existing garage doors may only be replaced with what is described above.</p>
Gates:	<p>Gates to properties may be constructed of wood, aluminium, steel, steel frame and slats which can be arranged horizontally, vertically or diagonally.</p> <p>All gates are to comprise rectilinear elements and no curves are permitted. Decorative spikes are not permitted and colours should be neutral or compliment the chosen feature colour of garage doors. In no circumstances will chrome gates be permitted.</p>
Jetties:	The design of jetties, berths and docks are subject to the approval of ARCHCOM prior to construction and, likewise, any alterations thereto must also be submitted for approval.
Outhouses:	<p>Outhouses and Wendy Houses may be installed for the use as gardening shed, storage shed or children's play area. They may not be designed or used for human habitation. One such outbuilding is permitted per residence. It must be a standalone structure and not form part of the main building on the property. No side of such structure may be greater than 1,7 meters in length or width.</p> <p>These structures can be constructed of timber, Nutec boarding or proprietary plastic panel and must be finished in a natural colour. Roofs shall be sloped and finished in malthoid or similar material. No corrugated metal or plastic sheeting is permitted as a roof finish. Outbuildings must not be visible from the water and the bulk must not be visible from the road or neighbouring properties. Where necessary screening and planting should be used to make the structure blend in with the environment.</p>
Perimeter Walls:	The perimeter wall of the Marina along Prince George's Drive and the road reserve on the northern perimeter may be raised using electric fencing and or spikes similar to those installed on the perimeter wall at Baalen Close. Electric fencing and spikes are permitted on internal boundary walls. These should be as unobtrusive as possible and the City regulations, contained in DMS, must be observed and in all instances will be the deciding factor.
Photovoltaic panels:	Photovoltaic panels may only be installed on roofs. In all instances they must be fitted flush with the roof, sit below the parapet height and may not be raised or angled. Angled panels are to be allowed, where needed, to optimize generation of electricity, e. g. on flat roofs of garages. Panels to be installed, wherever possible, in such a way that they are not visible above parapet walls. In order to make the installation as unobtrusive as possible, the system should preferably match the roof colour. Bright colours are not permitted. The size of installation should be commensurate with the energy needs of the residence.
Plumbing Pipes:	All water supply and drainage pipes are to be fully concealed.
Pre-cast walls:	Pre-cast walls, painted white on both sides or with one face of pebble finish are permitted within erf 93663 Cape Town at Muizenberg, known as San Marina. Walls of this construction are only permitted as boundary walls.
Solar Water Heaters:	<p>Solar panels must preferably be flush with roof and may not be raised. The water tank must, preferably, be fitted within the roof space but, if this is not possible, it may be mounted on the roof but below the level of the parapet wall or roof line.</p> <p>In order to make the installation as unobtrusive as possible, the system should preferably match the roof colour. Bright colours are not permitted.</p>
Signs and numbers:	House names and numbers should be visible, especially at night, and should be in a simple bold font.

Expansive, cursive lettering and number are not permitted.

Water Storage Tanks: Water storage tanks must be installed as discretely as possible and should not be visible from the water, road or neighbors. In all instances the bulk should be softened with screening or vegetation. Neutral colours are to be specified and bright colours are not permitted. Tanks should be placed on or near the ground and may not be installed on a roof or purpose made tower.

GENERAL PRINCIPLES:

Vegetation: No alien vegetation to be planted; the use of local or indigenous plants is preferable; please get advice from your nursery / garden club.
No planting or cutting is allowed in the public open spaces without formal approval by EXCOM

(This was approved at the 2017 AGM)

Owners are required to maintain the planting within the road verge outside their property. Any substantial trees within the verge may not be removed without application to and the approval of the Parks and Forests Department of the City of Cape Town.

Trailers, vehicles & caravans: No vehicle or trailer in a state of disrepair and incapable of being driven or, from which wheels have been removed, may be kept, or stored on any private property in a position which is visible from any public or private property.

Caravans and motorhomes shall not be stored on public property or in a visible position on private property. Long term boat parking on public roads is not permitted.

Streetscapes: The visual elements of Marina da Gama, including streets, roads, adjoining buildings, pedestrian pavements, street furniture, trees and open spaces combine to form an integral part of the architectural and environmental theme that establishes the overall character.

Elements that affect the streetscape are the building lines and provision of sufficient on-site parking.

Building lines must comply with the statutory development conditions of the Marina as originally approved as the positioning of buildings have a direct influence on the character and uniqueness of the area.

Departure from Building Lines require the approval of ARCHCOM to ensure that the streetscape of Marina da Gama is not adversely affected. On-site parking is a statutory requirement and any development or alteration to a property must meet the parking requirements of this document as well as that of DMS.

This is to be enforced to ensure that developments do not increase the number of vehicles to be parked on the road

BOUNDARY WALLS AND FENCES:

It must be noted that DMS has new regulations regarding the heights of boundary walls and, in the case of street boundary walls, limitations have been imposed regarding the percentage of permeability that is required. In all instances these standards must be adhered to.

(The cautionary note regarding DMS heights has been added to this amendment)

General Specification

- Masonry walls where used, to match the main house.

- White PVC fencing is allowed, subject to the same specifications as masonry walls.
- Timber where used, to be hardwood, including latte or suitably treated softwood, fine sawn or planed. Slats to be gapped max 25mm, (Latte less than 10 mm taking Straightness into account) white painted, or if natural colour permitted, to be sealed and varnished. Latte cannot be used on the Waterside.

Boundary Walling and Fencing

Zones	'S'	Street boundary including the area surrounding the Building Restriction Zone and including the returns on the side boundary to the front wall of the house or garage. Max. Average height 1800mm.
	'P'	Abutting any public open space, other than the water boundary.
	'N'	Between neighbouring properties from a line where the 'S' zone stops, and the furthest point of the residence from the street for on-water sites, or to the intersection of the back boundary on off water sites. Max. average height 1800mm.
	'X'	Between 'N' and the Bank edge. Max. average height 1200mm.
	'B'	The back boundary other than when it is a "technical" back boundary as on corner stands, in which case 'N' prevails.
	'W'	The waterside boundary approximately parallel to the bank edge.

Height of Boundary walls

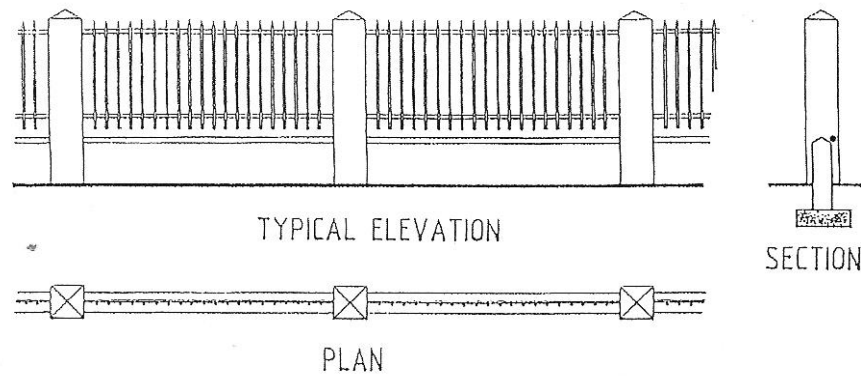
The owners of properties abutting public open space may, subject to an approved plan, erect a **2.1m** high plastered brick wall or palisade fence on such boundary. This resolution also applies to waterfront properties with the proviso that the last six metres of wall leading to the waters edge shall be palisade fencing.

Boundary Walling and Fencing

Zone Type	1 Masonry	2 Mixed	3 Timber	4 Special	5 Welded mesh
'S' Street	Yes	Yes	No	Yes	No
'P' P.O.S	Yes	Yes	Yes	Yes	No
'N' Neighbours	Yes	Yes	Yes	Yes	No
'X' Special	Yes	No	No	Yes	No
'B' Back	Yes	Yes	Yes	Yes	No
'W' Waterside	No	No	No	No	Yes
'K' Kitchen	Yes	No	No	No	No

Palisade Fencing

As defined in strict accordance with the accompanying detailed sketches and specification, be allowed. Palisade fences could thus be effected on all boundaries 'S' Street, 'P' P.O.S, 'N' Neighbours, 'X' Special and 'B' Back but not at 'K' Kitchen or 'W' Waterside, also at statutory approved wall and fence heights. The palisade fence elements shall be erected between white plastered piers with simple pyramid heads, with similarly crowned white plastered plinth below and only simple, pointed steel palisade, vertical elements shall be allowed. No ornamental elements, such as fleur-de-lis emblazonments, etc. will be allowed. The materials, finishes and permissible colours to be in strict accordance with the summary of specifications on the explanatory sketch, "steel palisade fencing". All fencing proposals will have to be submitted to ARCHCOM, Marina da Gama Association, for plan approval. Fence elevations, proposed locality on the Site Plan, envisaged colours, should be clearly indicated on the plan submission for ARCHCOM.



SUMMARY SPECIFICATIONS

General

Fence Heights: 1.2, 1.5, 1.8 & 2.1

Ground Clearance: 100mm

Section Width: 2425mm

Plinth walls preferred as above.

Fixing

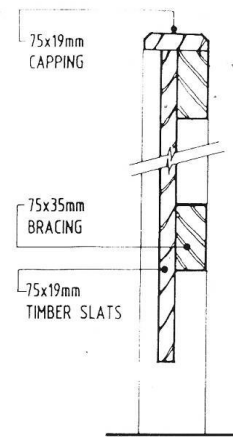
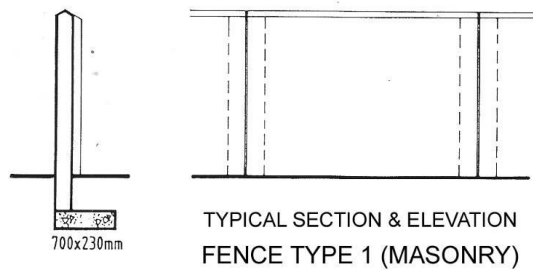
All fixing is hidden from view, tamper-proof and zinc plated. Fixers screw into threaded tie plates positioned in pales.

Silhouette can thus be readily assembled on site.

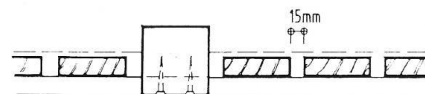
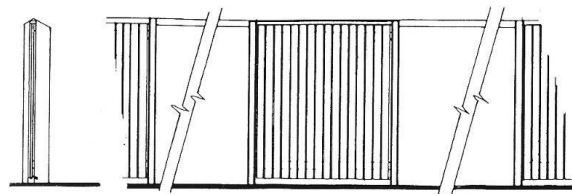
Materials and Finishes

- Mild steel, dipped in self-etch primer. Suitable topcoat applied on site.
- Hot-dipped galvanised mild steel.
- Colours : WHITE Any other colours to have ARCHCOM approval.
- No ornamentation such as “fleur de lis” theme are to be allowed.

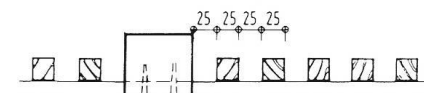
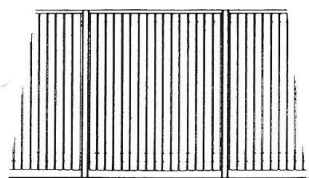
The following sketches numbered 1-6 and of the zones referred to above are incorporated to explain the Regulation.



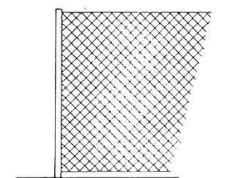
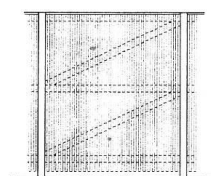
1 : 5 SECTION
FENCE TYPE 2 & 3

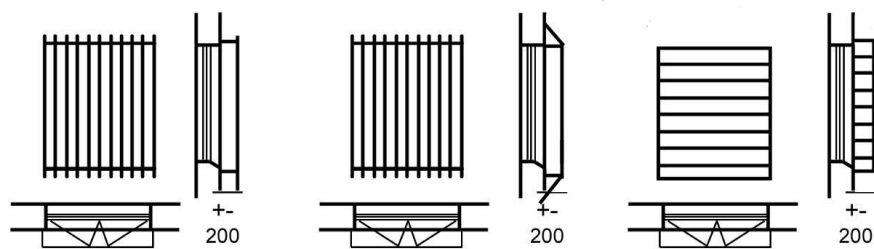
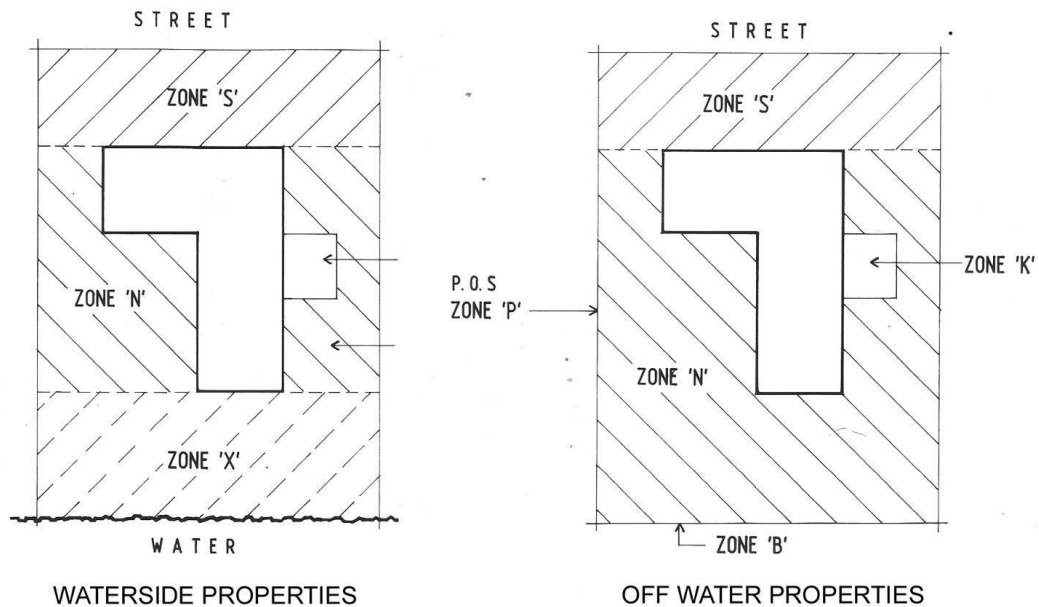


1 : 5 DETAIL PLAN
FENCE TYPE 3



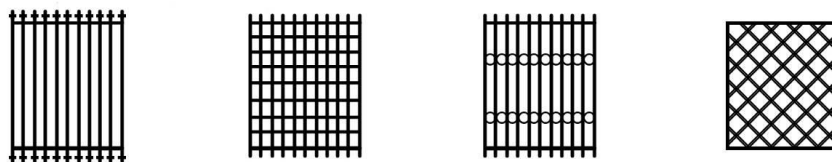
1 : 5 DETAIL PLAN
FENCE TYPE 4





PERMITTED BURGLAR BARS

BURGLAR BARS ARE TO BE PLAIN HORIZONTAL OR VERTICAL BARS WITHOUT ANY DECORATIVE FEATURES SUCH AS SPEARHEADS ETC.



NOT PERMITTED DECORATIVE BURGLAR BARS